



Residential Pre-Purchase Building Inspection Report

Complies with Australian Standard AS 4349.1-2007

Inspection of Buildings Part 1: Pre-Purchase

Inspections Residential Buildings - Appendix C



Owner: Lea Findorff

Property Address: 774 Friday Hut Rd Binna Burra

Date of inspection: 01/07/2024

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Part 1: Purpose and Scope of Inspection

This report complies with Australian Standard AS4349.1 - 2007 Inspection of Buildings, Part 1: Pre Purchase Inspections - Residential Buildings.

Inspection Agreement - Individual title property

Requirement for Inspection agreement AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

Purpose of Inspection

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

Important Information and Disclaimer

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Residential Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

Scope of Inspection

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

What is reported on:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
 - The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
 - The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
 - The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
 - The roof space: roof covering; roof framing; sarking; party walls; insulation
 - The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
 - The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (excluding swimming pool fences) ; surface water (drainage effectiveness)

What is not reported on:

- general exclusions detailed in the standard AS 4349.1 - 2007
- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

Special Requirements

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Dimensions for Reasonable Access

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Part 2: General Comments and Weather Observations

Weather Conditions at the time of inspection	Light rain
Recent weather conditions	Clear & Sunny
Date and time inspection completed	1 July 2024 8:30 AM
Building furnished?	Yes
Occupied by?	Owner
Report prepared for?	Owner/occupier

Part 3: Description of Building

Type of Building	Residential
Style of Building	Conventional
Number of Stories	Low set
Age of Building	30-50 years old
Roof Covering	Colourbond Steel
Roof frame	Hardwood pitched roof
Roof Pitch (Approximate, in degrees)	12-15
External walls	Fibrous Cement
Floor Construction	Timber on Timber frame, Composite Sheet on Timber Frame
Footings	Brick piers on concrete pad, Timber Stumps
Outbuildings	Swimming pool
Front of Building Faces?	North East

General Photographs:

Part 3a: Areas Inspected

The Actual Areas Inspected were:

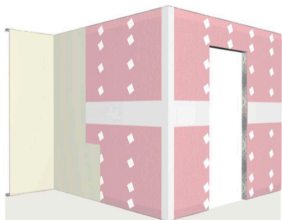
Interior of Building, Exterior of Building, Sub Floor Space, The Site

Part 4: Interior of Building

Ceilings; Are all ceilings free of sagging, nail popping, cracking, staining or other damage?

Yes

LEVELS OF FINISH



Plasterboard is finished using plaster compounds, which are sanded and then finally painted to achieve a smooth and even appearance. No building lining system has a surface that is perfectly flat and totally free of imperfections. By paying attention to framing, plasterboard sheet orientation, paint finishes and lighting conditions, it is possible to attain the perception of flatness. Careful workmanship is required at each stage of construction to achieve a high-quality finish. If faults are not corrected at the earliest opportunity it may be impossible to disguise them afterwards. In addition, there are some key design principles that should be followed to avoid conditions known to highlight imperfections.

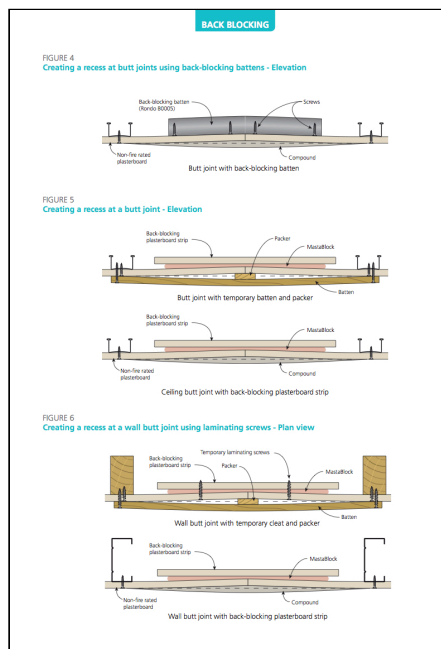
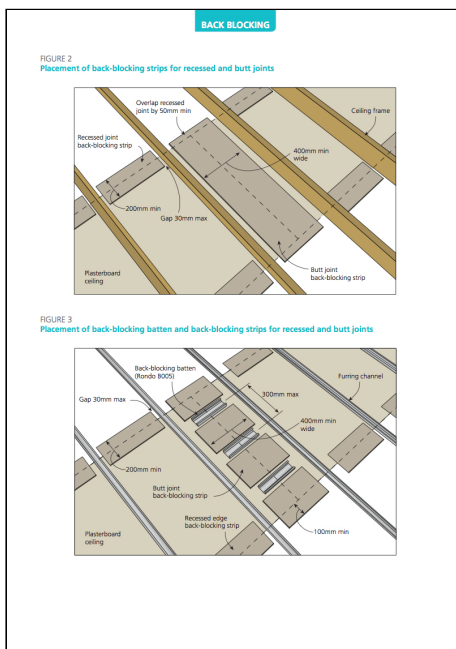
AUSTRALIAN STANDARD REQUIREMENTS

The plasterboard installation standard AS 2589-2007, *Gypsum linings - Application and finishing*, refers to three Levels of Finish (Levels 3, 4 and 5). The standard nominates Level 4 as the default finish unless otherwise specified. Installation in accordance with Lafarge Plasterboard instructions will achieve a Level 4 Finish.

TABLE 1
Level of Finish requirements for non-fire rated systems

	LEVEL 3	LEVEL 4	LEVEL 5
Back-block recessed joints on ceilings with 3 or more recessed joints	Optional	✓ ¹	✓
Back-block recessed joints on ceilings with less than 3 recessed joints	Optional	Optional ¹	✓
Ceiling butt joints permitted on framing members	✓	X ²	X ²
Wall butt joints permitted on framing members	✓	X ²	X ²
Minimum number of coats for jointing	2	3	3 and Skim Coat
Maximum frame deviation of 90% of area (mm)	3	4	3
Maximum frame deviation of remaining area (mm)	3	5	4

1 Back blocking not required for recessed joints on suspended ceiling with no rigid connection at wall/ceiling junction.
2 Back blocking is required on these joints. (SEE AS 2589-2007, SECTION 3.2)
3 Over a 1.8m straight edge the frame must not deviate by more than these values.



Walls; Are the wall linings free of bulging, nail popping, cracking, dampness/staining, vertical distortion and other damage?

Imperfections in flush jointing - The imperfections could easily be rectified prior to the next painting.



Location (Optional): Internal
Defect Rating: Minor Defect



Floors (Timber); Are floors free of movement such as spring and bounce, and cracking, and are they free of dampness/staining and other damage?

The flooring has minor spring and bounce, which is typical of a building of this age.
Location (Optional): Internal
Defect Rating: Minor Defect



Windows (Metal framed); Are all windows free of broken/cracked glass, damage to glazing seals, staining/corrosion, or do they operate freely?

Yes

Doors/Frames; Do all doors and hardware operate freely and do not bind on frames, and are they free of decay/corrosion and other damage?	Yes
Kitchen; Is the benchtop free of lifting, delamination, water damage or other damage?	Yes
Kitchen; Are the cupboards free of water damage, musty odour?	Yes
Kitchen; Do the cupboard doors and drawers operate freely?	Yes
Kitchen; Are the sinks/taps free of chips, cracks and/or water leaks?	Yes
Kitchen; When water supply is switched on, does it operate and drain correctly?	Yes
Kitchen; Are the tiles free of cracking, drumminess, or loose/missing grout/sealant?	Yes
Bathrooms/WC; Are cisterns/pans/bidets Free of cracks, leakages, or do they flush correctly?	Yes
Bathrooms/WC; Are cisterns/pans/bidets correctly installed and are they stable/rigid?	Yes
Bathrooms/WC; Are taps free of leaks, and does the water supply operate correctly?	Yes
Bathrooms/WC; Are the tiles free of cracks, drumminess, or loose/missing grout/sealant?	Yes
Bathrooms/WC; Is the bath free of damage, and is it properly recessed at the junction with the wall?	Yes
Bathrooms/WC; Is the shower screen free of cracks, and is it adequately sealed at the floor/wall junctions?	No Location (Optional): Bathroom Details (Optional): As there is no shower screen door fitted to the screen excess shower spray may occur outside the shower cubicle Defect Rating: Safety Defect



Bathrooms/WC; Are the shower tiles free of cracking, drumminess, or loose/missing grout/sealant?

Yes

Bathrooms/WC; Around the shower, is it free of signs of leaking/seepage?

Yes

Bathrooms/WC; Is the vanity basin, cabinet and mirrors free of damage, and do the doors/drawers operate correctly?

No

**Location (Optional): Bathroom vanity
Details (Optional): Consideration should be given to seal vanity bench top with an approved flexible sealant to prevent moisture content entering behind cupboard
Defect Rating: Minor Defect**





Bathrooms/WC; Is the room free of condensation damage, and is it adequately ventilated?	Yes
Laundry; Are taps free of leaks, and does the water supply operate correctly?	Yes
Laundry; Is the tub/cabinet free of water damage, corrosion or other defect?	Yes
Laundry; Are the tiles free of cracks, drumminess, or loose/missing grout/sealant?	Yes
Laundry; Is the room free of condensation damage, and is it adequately ventilated?	Yes
Electrical; Do battery or hardwired smoke alarms exist?	Yes. Smoke alarms have been installed. Smoke alarms should be checked and tested by a licensed electrician prior to occupancy of this dwelling.
All rooms: Are all rooms free of damp problems, including rising/falling damp, condensation, horizontal penetrating dampness?	No Location (Optional): Shower walls Details (Optional): High moisture readings to the shower walls evident. Recommend to engage a licensed plumber to further investigate possible pipe leak Defect Rating: Further Investigation



All rooms; Are all rooms free of any other damage or defects? **Yes**

Part 5: Exterior of Building

Walls; Are all lintels sufficiently rigid and free of defect/damage? **Yes**

Walls; Are all walls/wall cladding free of defect/damage, and is the paint/coating maintained? **The walls are in reasonable condition for the age of the property.**

Walls; Does the wall cladding have suitable flashings and damp proof course, and is it free of dampness damage? **Yes**

Walls; For doors and windows, do suitable flashings, mouldings, and sills exist and are they free of defect/damage? **Yes**

Wall frames (Timber or steel); Are frames free of bulging, appear plumb and structurally rigid? **Yes**

Stairs; Are the stringers, handrails, balusters, treads and risers sufficiently rigid and free of damage? **Yes**

Balconies/verandahs/patios/decks/suspended floors/balustrades; Do they appear structurally sound, free of defects? **Appear to be in reasonable condition for their age**

Balconies/verandahs/patios/decks/suspended floors/balustrades; Are handrails at correct height to comply with Building Code?



No

Location (Optional): External

Details (Optional): Consideration should be given to keep wires fully tensioned at all times

Defect Rating: Safety Hazard



General; Is the exterior free of any other damage or defects?

No

Location (Optional): External

Details (Optional): Timbers are in contact with the ground - Maintain 75mm ground clearance to prevent decay and possible termite activity

Defect Rating: Minor Defect





Part 6: Roof Exterior

Valleys/gutters/downpipes; Are they free of rust, and do they appear to drain effectively?

Down pipes in areas are not connected to storm water. See a plumber to have connected. This has potential to cause differential settlement to the footings, cause rising damp and is also conducive to termite infestation. Defect because of potential problems relating to excess water in sub floor.

Location (Optional): External

Defect Rating: Further investigation



Eaves/fascias/barges; Are they free of corrosion/decay, and do they appear to be sufficiently rigid?

No visible damage and appear to be in reasonable condition for the age of the building

General; Is the roof free of any other damage or defects?

Yes

Part 7: Roof Space

Part 8: Sub Floor Space

Timber floor; Are bearers and joists free of deflection and sag, and free of cracks, corrosion, decay?

Yes

Timber floor; Do columns/posts appear to be structurally sound, with undamaged antcaps, and free of cracks, corrosion, decay?

This can allow concealed termite entry to occur and should be rectified immediately.
Location (Optional): Sub Floor
Details (Optional): Refer Pest Report for best recommended management
Corroded ant sheilding evident.
Defect Rating: Minor Defect





Timber floor; Does the sub floor area appear to be adequately ventilated, and free of dampness?

Inadequate. As with older dwellings, sub floor ventilation is inadequate when compared with today's requirements. You could improve the sub floor ventilation to meet today's requirements if desired as it is advisable in older brick dwellings.

Location (Optional): Sub Floor

Details (Optional): Improved ventilation may need consideration to the front foundation wall



Defect Rating: Minor Defect



Timber floor; Are the floor boards free of dampness and decay?

Condensation evident to underside of floorboards

Defect Rating: Minor Defect



General; Is the sub floor space free of any other damage or defects?

No
Location (Optional): Sub Floor
Details (Optional): Timbers are in contact with the ground . This is susceptible to termite entry . Refer Pest report for best

recommended management .Possible
removal should be considered
Defect Rating: Further investigation



Part 9: The Site

Steps; Are all areas free of subsidence, trips hazards and safe to walk upon?

Yes

Fencing; Do general fences appear to be structurally sound and undamaged?

Yes, appears to be in reasonable condition for its age

Swimming Pool; Do fences completely surround the pool, and does the pool appear to be in good cosmetic condition?

No
Location (Optional): Pool gates
Details (Optional): Ease and adjust pool gate latches to enable self closing at all times
Defect Rating: Safety Hazard





Surface water; Does rainwater drain effectively and not pond against structures?

No
Location (Optional): Sub Floor
Details (Optional): Typical tracking of sub floor surface water flow evident. this is nbot uncommon taking into consideration site characteristics
Defect Rating: Minor Defect



General; Is the site free of any other damage or defects?

Yes

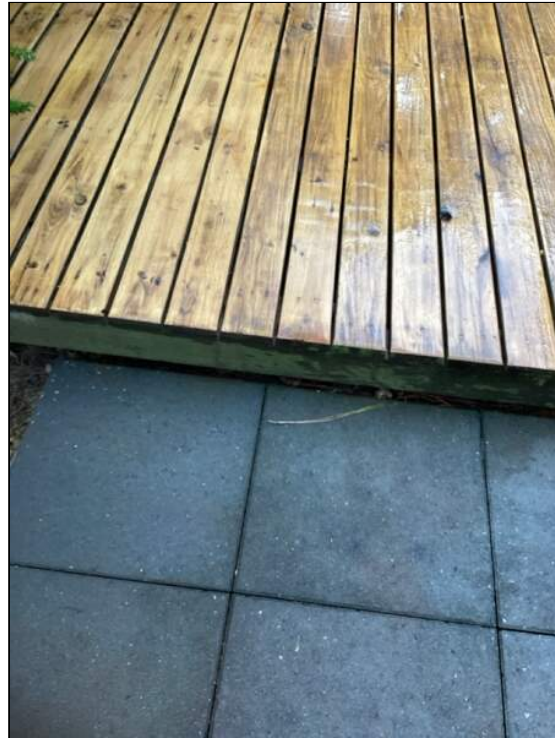
Part 10: Restrictions

Did the inspector have unrestricted access to all areas?

Yes

Were there Areas not inspected and, if so, the reasons were:

Yes
Reasons: Roof void due to raked ceiling.
Underside of external decking due to onground construction



Areas to which access should be gained, or fully gained, are:

Roof Void: No access door installed., Internally, some walls, skirting board, floor linings and the like were not visible due to storage/furniture., Internally, Cupboards also had storage items that restricted full visibility of areas., Vegetation restricted some access and views of walls and fencing, Upper two storey roof cladding was not accessed or walked on due to safe and reasonable access.

Part 11: Summary of Defects and Safety Issues

Safety Hazards in this Building:

Balconies/verandahs/patios/decks/suspended floors/balustrades; Are handrails at correct height to comply with Building Code?

No
Location (Optional): External
Details (Optional): Consideration should be given to keep wires fully tensioned at all times
Defect Rating: Safety Hazard



Swimming Pool; Do fences completely surround the pool, and does the pool appear to be in good cosmetic condition?

No
Location (Optional): Pool gates
Details (Optional): Ease and adjust pool gate latches to enable self closing at all times
Defect Rating: Safety Hazard



Major Defects in this Building:

No Major Defects Identified

Minor and Other Defects in this Building:

Walls; Are the wall linings free of bulging, nail popping, cracking, dampness/staining, vertical distortion and other damage?

Imperfections in flush jointing - The imperfections could easily be rectified prior to the next painting.
Location (Optional): Internal
Details (Optional):
Defect Rating: Minor Defect



Floors (Timber); Are floors free of movement such as spring and bounce, and cracking, and are they free of dampness/staining and other damage?

The flooring has minor spring and bounce, which is typical of a building of this age.
Location (Optional): Internal
Details (Optional):
Defect Rating: Minor Defect



Bathrooms/WC; Is the vanity basin, cabinet and mirrors free of damage, and do the doors/drawers operate correctly?

No
Location (Optional): Bathroom vanity
Details (Optional): Consideration should be given to seal vanity bench top with an approved flexible sealant to prevent moisture content entering behind cupboard
Defect Rating: Minor Defect



General; Is the exterior free of any other damage or defects?

No
Location (Optional): External
Details (Optional): Timbers are in contact with the ground - Maintain 75mm ground clearance to prevent decay and possible termite activity
Defect Rating: Minor Defect



Timber floor; Do columns/posts appear to be structurally sound, with undamaged antcaps, and free of cracks, corrosion, decay?

This can allow concealed termite entry to occur and should be rectified immediately.
Location (Optional): Sub Floor
Details (Optional): Refer Pest Report for best recommended management
Corroded ant sheilding evident.
Defect Rating: Minor Defect



Timber floor; Does the sub floor area appear to be adequately ventilated, and free of dampness?

Inadequate. As with older dwellings, sub floor ventilation is inadequate when compared with today's requirements. You could improve the sub floor ventilation to meet today's requirements if desired as it is advisable in older brick dwellings.

Location (Optional): Sub Floor

Details (Optional): Improved ventilation may need consideration to the front foundation wall

Defect Rating: Minor Defect



Timber floor; Are the floor boards free of dampness and decay?

Condensation evident to underside of floorboards

Location (Optional):

Details (Optional):

Defect Rating: Minor Defect



Surface water; Does rainwater drain effectively and not pond against structures?

No

Location (Optional): Sub Floor

Details (Optional): Typical tracking of sub floor surface water flow evident. this is not uncommon taking into consideration site characteristics

Defect Rating: Minor Defect



Part 12: Other Inspections & Reports Required

Recommendations for Further Inspections:

As Per Report

Part 13: Cracking to Building Members

Is there cracking to the Building Members: **No**

If cracks have been identified in the table below, then A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase.

Regardless of the appearance of the cracks a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Obtaining information regarding:

- (a) The nature of the foundation material on which the building is resting,
- (b) The design of the footings,
- (c) The site landscape,
- (d) The history of the cracks and
- (e) Carrying out an invasive inspection,

all fall outside the scope of this Pre Purchase Inspection. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of the inspection may have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work been carried out.

Areas Inspected	Location	Description of the Cracking Defect at the time of the Inspection.
Concrete Slabs		
Suspended Concrete Slabs		
Masonry Walls		
Piers		
Retaining Walls		
Other Areas		

IMPORTANT: All Recommendations made in the above Inspection Findings or elsewhere in this Report should be carried out/or considered in your decision process, prior to purchase.

Part 14: Conclusion & Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

None

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

Typical

NOTE: Due to the age of this dwelling Asbestos content is possible

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Average

Overall Condition Comments:

The overall condition of is consistent with dwellings of the same age & construction. There may be areas/members requiring minor repair or maintenance. There were no major matters that require attention or rectification.

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

We take this opportunity to thank you for your instructions and we look forward to working with you again.



Timothy Charles Crawford, Licence number 25204

Eastcoast Pre Purchase Inspections

Definitions

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Major Defect: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any Defect other than what is described as a major defect.

Accessible area: is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.